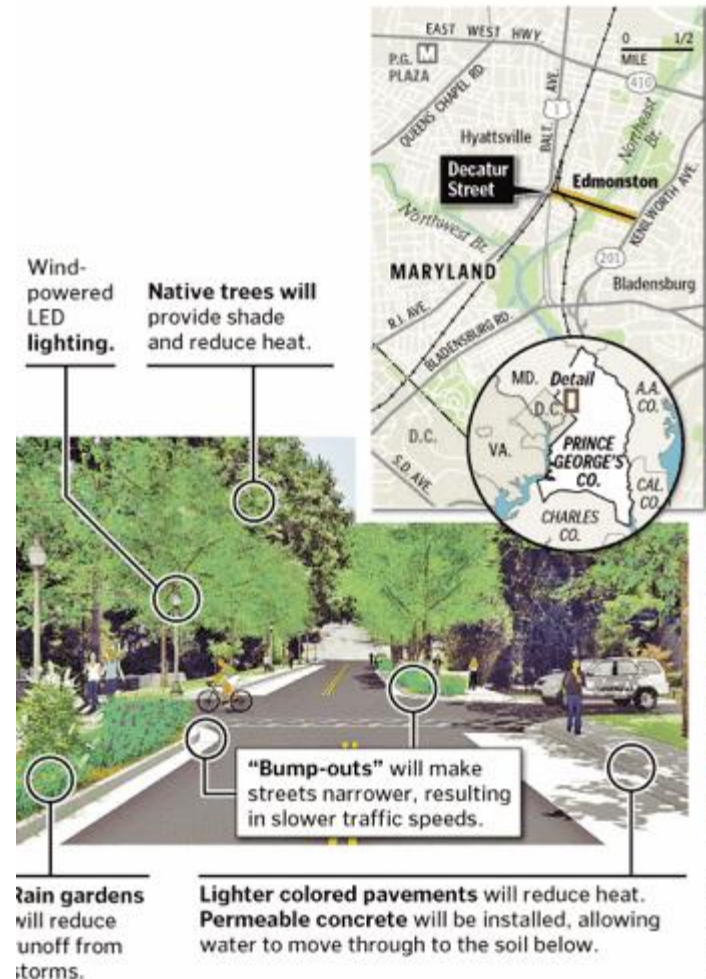


# Quality Redevelopment for Prince George's County is Green Redevelopment

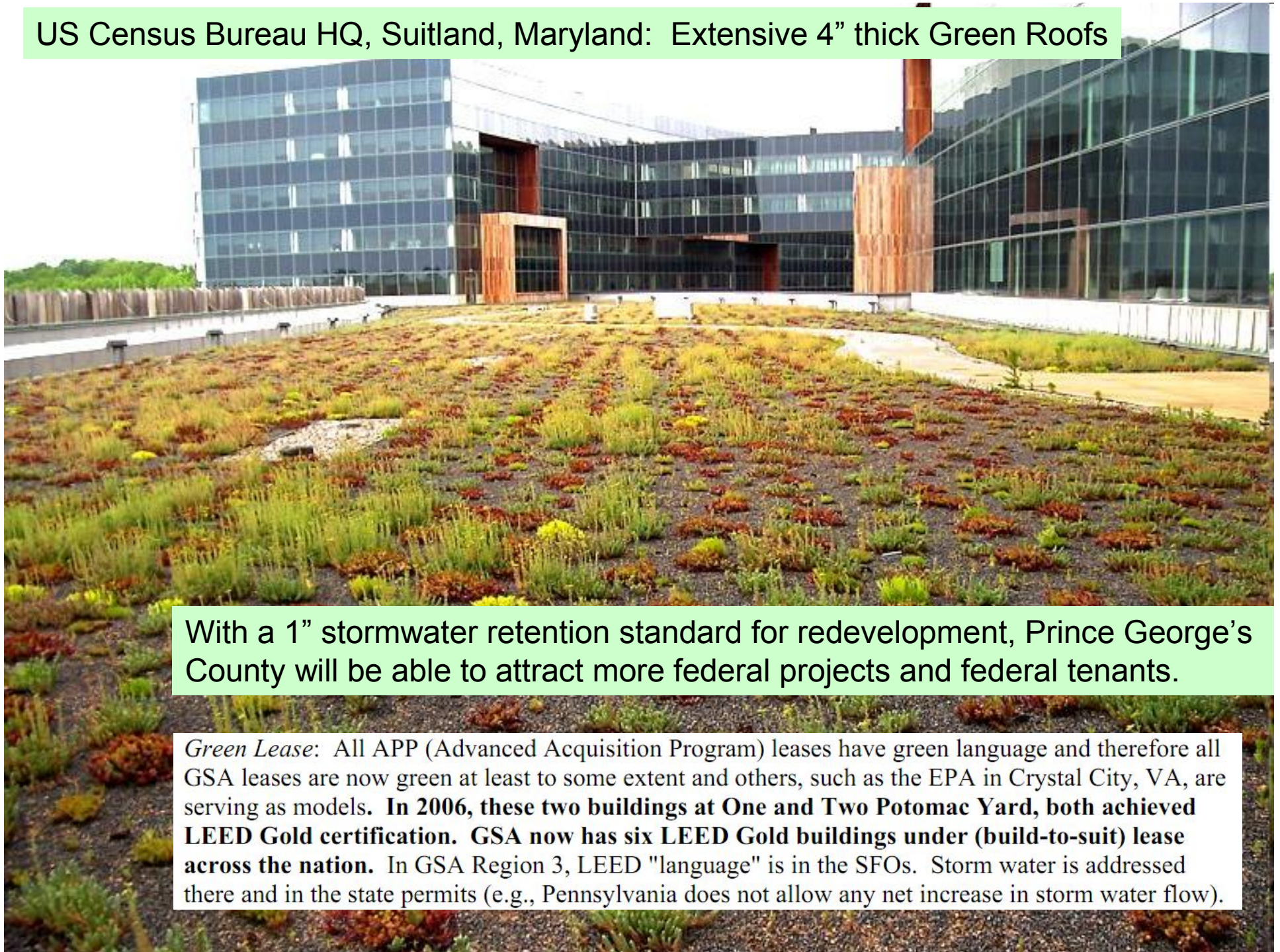
Redevelopment Projects Should Be  
Required to Comply, at a minimum, with a  
1" Stormwater ESD Retention Standard.

Prince George's County Clean Water Coalition  
June 2011

Edmonston Green Street Project: Meets greater than 1" of stormwater retention using Green practices (bioretention and permeable pavement).



## US Census Bureau HQ, Suitland, Maryland: Extensive 4" thick Green Roofs



With a 1" stormwater retention standard for redevelopment, Prince George's County will be able to attract more federal projects and federal tenants.

*Green Lease:* All APP (Advanced Acquisition Program) leases have green language and therefore all GSA leases are now green at least to some extent and others, such as the EPA in Crystal City, VA, are serving as models. **In 2006, these two buildings at One and Two Potomac Yard, both achieved LEED Gold certification. GSA now has six LEED Gold buildings under (build-to-suit) lease across the nation.** In GSA Region 3, LEED "language" is in the SFOs. Storm water is addressed there and in the state permits (e.g., Pennsylvania does not allow any net increase in storm water flow).

TRANSIT-ORIENTED  
DEVELOPMENT

Stormwater retention via green  
practices.

Yards Park, Anacostia Riverfront

**Project Lead: Forest City**

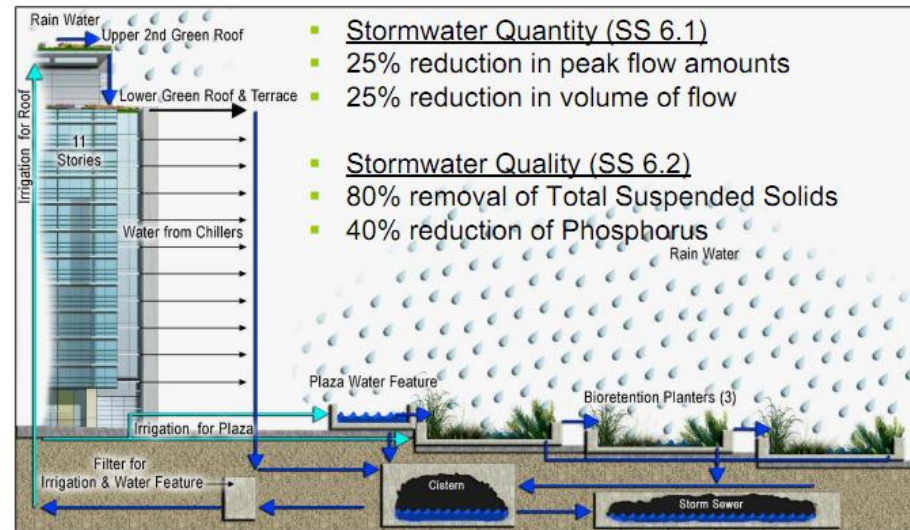
Opened: Sept. 2010



1050 K St.  
 Washington, DC  
 The Tower Companies

## 1050 K Street NW Stormwater Cycle

- LEED Stormwater more stringent than D.C.



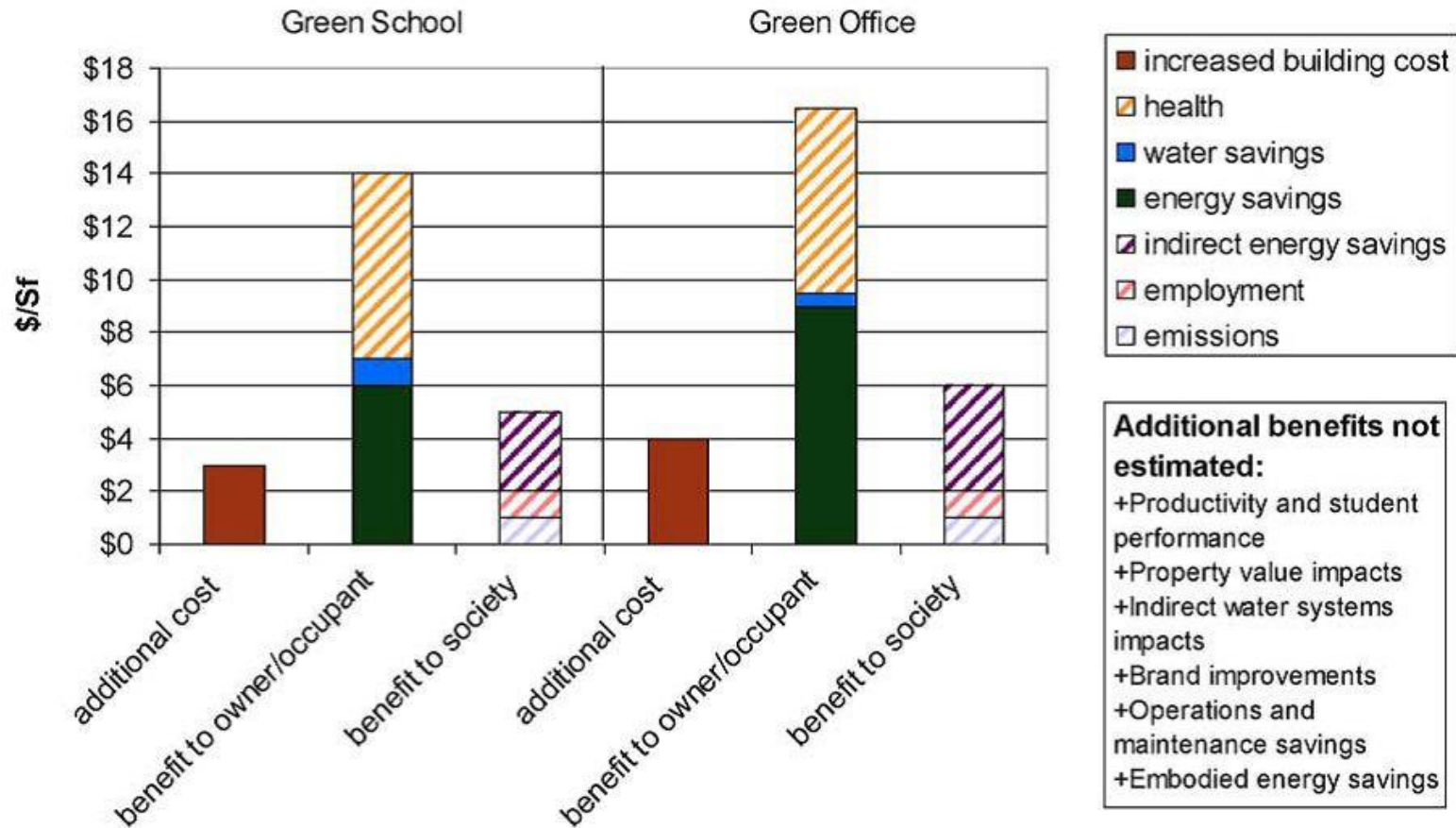
Falkland Chase,  
 Silver Spring,  
 Home Properties.  
 Approved by Mont.Co.  
 Planning Board,  
 Nov. 2010.





# U.S. General Services Administration

*Achieving High-Performance Federal Facilities: Strategies and Approaches for Transformational Change: A Workshop Report*



# Conclusion:

## A One-Inch Stormwater Redevelopment Standard

Is:

- \* Necessary
- \* Feasible
- \* Affordable